



REDINGTON RANCH CONSTRUCTION STANDARDS

Section 1: Development

Section 2: Construction

Approving Architect:

Lee Rayburn Architect
10597 E John McNair Place
Tucson, Arizona 85747
520-977-0151

Date: May 12, 2023

This document provides guidelines for development and is not a replacement for the Declaration of Protective Covenants of Redington Ranch. They are meant to help you, the home/lot owner interpret the standards provided for in the Protective Covenants. Compliance with all recorded covenants is required. You are advised to read the Protective Covenants in their entirety.

These guidelines are subject to review and modification by the Homeowner Association Board of Directors, provided such modifications are consistent with the Protective Covenants. If any discrepancies or inconsistencies exist between this document and the Protective Covenants, the Protective Covenants shall prevail.

CONSTRUCTION STANDARDS – REDINGTON RANCH

TABLE OF CONTENTS

Development Standards:	Page
Introduction	1
I. Site Planning	
Zoning	1
Site Planning	1
Development Plans	1
Architectural Plans	1
Grading	2
Bank Protection	3
Utilities	3
Drainage	4
Setbacks and Sight Distances	5
Landscaping	5
Saguaros	5
Irrigation	5
Plant Materials	5
Minimum Plant Density	6
II. Site Improvements	
Construction Period	7
Construction Standards	7
Building Materials	7
Exterior Appearance and Colors	7
Roof Materials	7
Building Size	8
Building Mass	8
Building Height	8
Building Walls	8
Walls	8
Driveways and Parking	8
Mechanical Equipment	9
Satellite Dishes and Antennae	9
III. Site Amenities	
Mailboxes	9
Exterior Lighting	9
Trash Receptacles	9
Signage	9
Pools	9
Accessory Buildings	9
IV. Submittal and Review Process	
Review Process	9

Preliminary Review	10
Final Document Approval	11
Pre-construction Inspection	11
Final site Inspection	11
Variances	11
Lot Data Form	12
Design Review Checklist	13
Approved Plant Lists	15

CONSTRUCTION STANDARDS – REDINGTON RANCH

Construction Standards

Preservation of Cacti and other Vegetation	17
Access to Project	17
Construction Office and Yard	17
Parking of Trucks and Personal Vehicles	17
Security	17
Site Utilities	18
Heavy Equipment/Trucks	18
Construction Debris	18
Lighting	18
Liquor, Drugs, Noise	18
Hours/Days of Work	18
Construction Site Plan	19
Access to Redington Ranch	19
Lot Owner's Construction Deposit	19

Development Standards

Redington Ranch

Redington Ranch is a community that exemplifies the Southwestern lifestyle. To achieve quality development, design standards have been defined to set parameters without restricting creativity. These guidelines endeavor to preserve and enhance the quality of the existing desert landscape, establish a sense of visual continuity throughout the project and create a community of well designed buildings: a total environment.

In continuing the pattern established nearly 100 years ago in Tucson, the Redington Ranch design guidelines promote "southwestern style" architecture.

You have chosen to build in one of Tucson's finest planned communities. We take pride in creating a standard exemplary of our dreams and ask you to join with us in that vision.

The Board of Directors of the Homeowners Association has selected a qualified Architect to act as the "Approving Agent" (as defined in the Protective Covenants). The Architect has been referred to in this document as the "Approving Architect" and will assist the Board in implementing and enforcing these standards and the Protective Covenants.

I. Site Planning

Zoning: Pima County zoning governs all development, except as further restricted by the Redington Ranch Protective Covenants, and the requirements contained herein.

Site Development: No site clearing, grading or building shall occur on any lot until development plans and architectural plans are submitted and approved by the Redington Ranch Approving Architect who will report such approval to the Board Secretary.

See Review Process Details (Page 9)

Site development shall conform to the natural topography, preserving terrain and natural vegetation, including Saguaros, Palo Verde and Mesquite trees with a minimum caliper of 3 inches. Adhere to Arizona's native plant life.

All structures and landscaping shall preserve mountain and city views and promote the privacy and character of neighboring homes and outdoor areas.

Development plans shall include:

- a) Site Plan – Min 40 scale with north arrow, title and date.
- b) Grading Plan - Min 40 scale with north arrow, title and date. Plus topography with one foot contours.
- c) Landscaping Plan - including a native plant preservation plan, new planting plan, plant lists showing the undisturbed areas and identifying all significant vegetation. (See Site Development on this page).
- d) Site utilities including septic system location and utility screening.

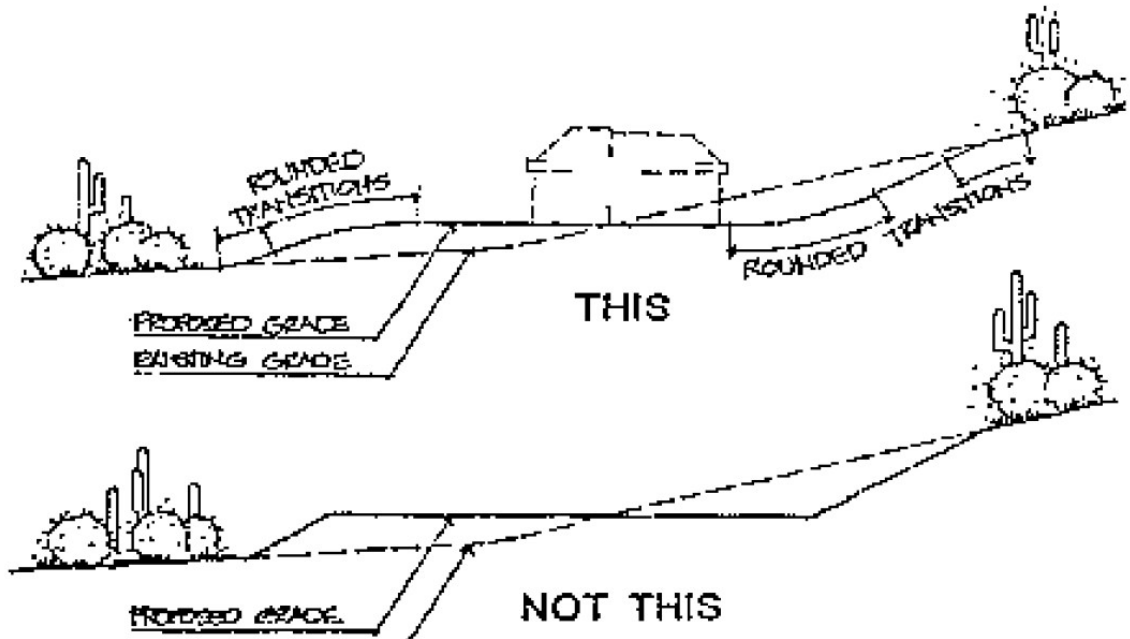
Architectural plans shall include:

- a) Floor Plan
- b) Exterior Elevations
- c) Color and Building Materials
- d) Exterior Rendering

CONSTRUCTION STANDARDS – REDINGTON RANCH

CONSTRUCTION STANDARDS –

Grading: Grading shall conform to the natural topography and result in harmonious transition with the natural terrain.



Graded slopes shall not exceed the Maximum Cut and fill Slope Specifications unless approved by the Approving Architect. All cut and fill slopes shall be landscaped. Avoid grading large, level pads and design structures to conform to hillsides.



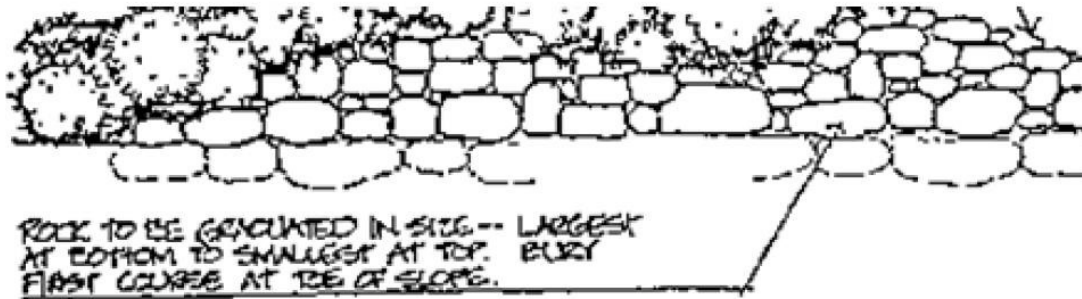
Maximum Cut and Fill Slope Specifications

- a) Cut Slopes: 4' vertical height 2.5:1 slope ratio
- b) Fill Slopes: 2' vertical height 3:1 slope ratio

Bank Protection: Riprap shall be hand-placed rock from the site or native to the Santa Cruz River Bank and shall adhere to the Rock Riprap Limitations. Not more than 50% of any single slope may be riprapped.

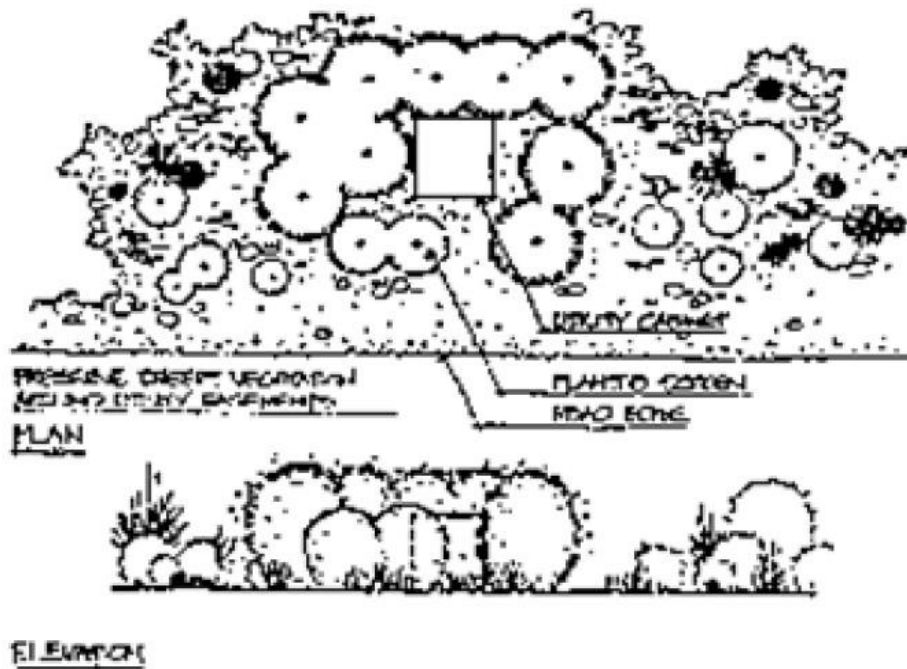
Rock Riprap Limitations:

- a) Maximum Height - 4 ft.
- b) Maximum Slope coverage - 50%



Utilities: Install all utility services underground locating lines under driveways or other disturbed areas.

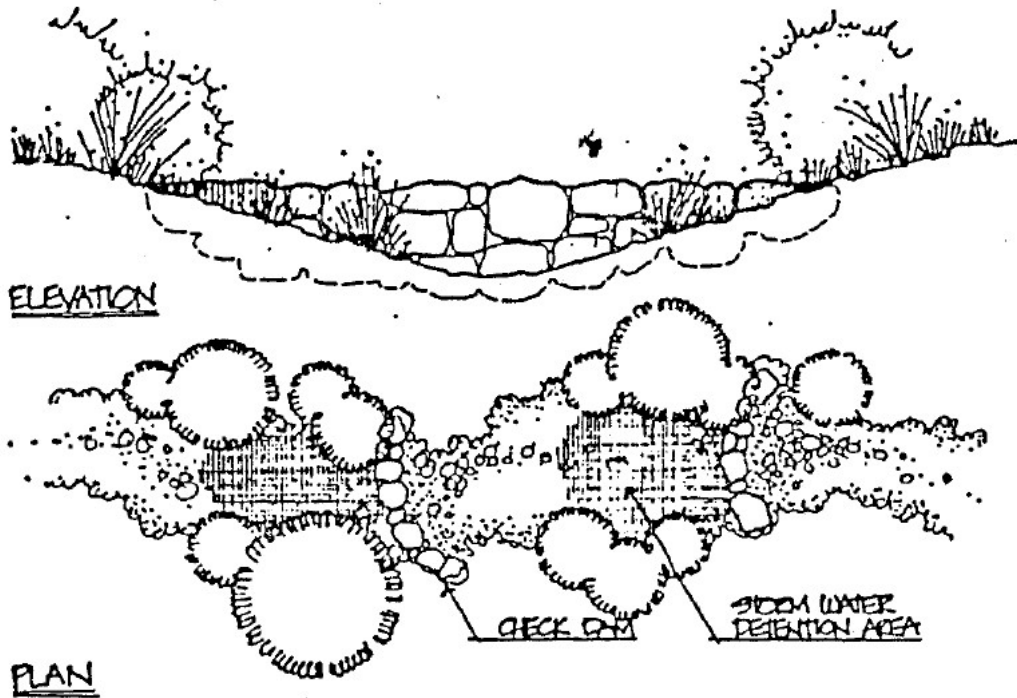
Screen all exterior transformers, utility parts, meters and mechanical equipment such as air conditioners, solar cooling and heating devices with walls, fences or vegetation. An enclosed utility yard which adheres to Wall Guidelines is required for all mechanical equipment, meters, clotheslines, tanks, wood storage and trash or rubbish containers.



Drainage: Natural drainageways shall be preserved wherever possible to minimize alterations drainageways and prevent soil erosion. Developed drainageways, if lined, shall use rock from the site or native to the Santa Cruz River Basin. Any other finished material must be approved by the Approving Architect.

Introduce small rock check dams drainage such as those common in the area, for detention of storm water runoff wherever possible. Collection and on-site retention of storm water runoff is encouraged to supplement irrigation.

All drainage shall exit from any lot in a manner identical to the original run-off. Drainage from driveways shall be retained on-site so that the off-site quantity and rate of flow shall not be greater than the original hydrological conditions at any exiting point.



Setbacks and Sign Distances: Minimum setbacks for homes shall be per the Building Setback Specifications. In some instances, patio walls may be allowed to infringe into the setback areas, but only with the authorization of the Approving Architect.

Building/Pool Setback Specifications:

- a) Front: 50 feet
- b) Site: 50 feet
- c) Rear: 50 feet

Wall Setback Specifications:

- a) Any Property Line: 30 feet

Recreation Facility Setback Specifications:

- a) Any Property Line: 75 feet

Landscaping: No existing native vegetation on the lot, including Saguaros, Mesquite and Palo Verde trees shall be disturbed or removed except for structure, patio walls and driveways, unless approved by the Approving Architect. If natural vegetation is destroyed or removed without approval, the Homeowner's Association Board of Directors may require replacement and replanting of the same at Owner's expense. (See Redington Ranch Protective Covenants.)

The plant materials theme shall be Sonoran Desert Foothills. Native or compatible drought-tolerant vegetation shall predominate throughout Redington Ranch. Ornamental plants, including grass, shall be permitted on individual building lots only in areas behind walls. Adhere to the Plant Materials Schedule and the Plant List for approved species that are compatible, drought-tolerant, and low-pollen releasing. Landscape for all disturbed areas shall comply with the Minimum Plant Density Schedule.

All landscaping shall be completed within 60 days from the completion of the home. Exceptions, due to the time of year, may be allowed by the Approving Architect.

Saguaros: A minimum of 80% of the mature (over 5 feet high) saguaro cacti shall be retained on each individual building lot. No saguaros shall be removed without permission of the Approving Architect.

Improvements on building lots shall be designed around existing specimen and other healthy saguaros, leaving the maximum number in place. Saguaros which will remain in place should not be disturbed within three feet of their trunks.

Each site plan shall designate which saguaros can be moved or destroyed. All other saguaros are to remain in their natural location.

Irrigation: Drip irrigation techniques are encouraged wherever possible.

Plant Materials:

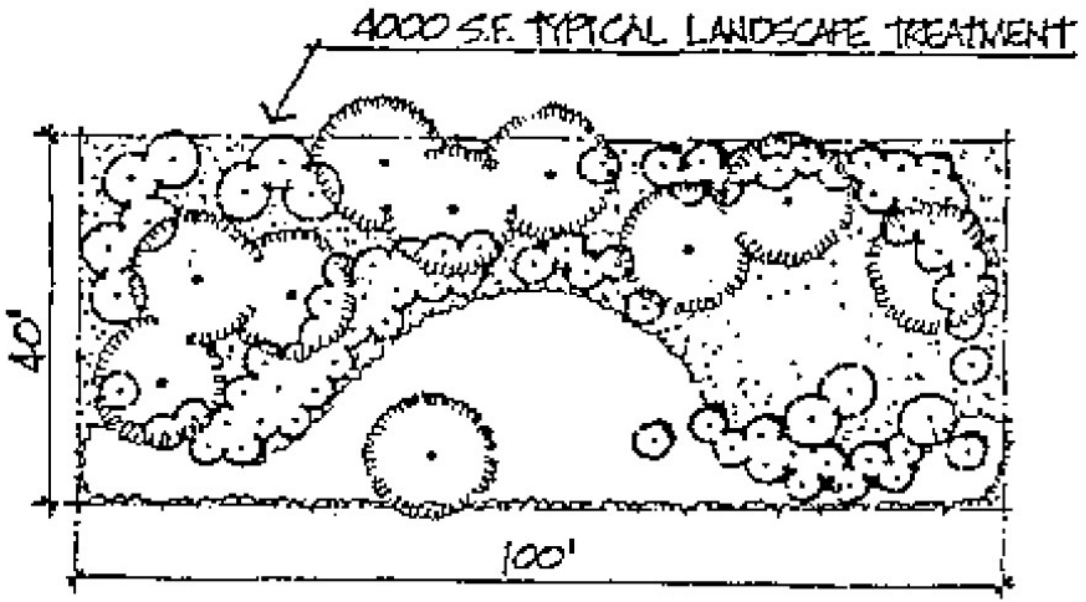
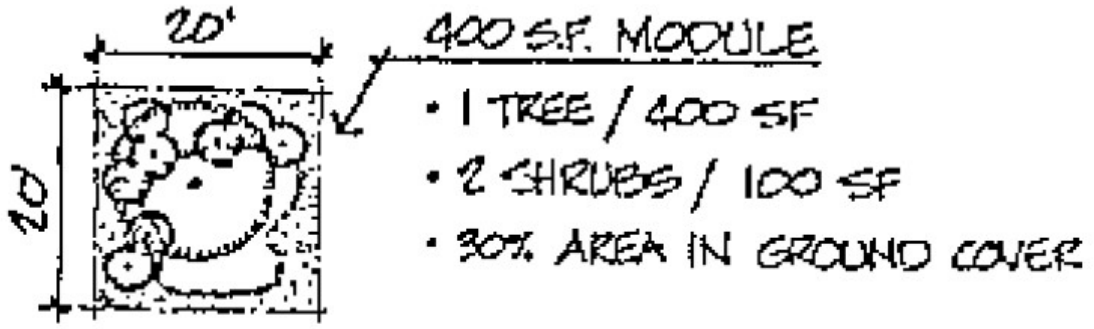
Native or introduced drought-tolerant plants are encouraged.

Ornamental plants may be used:

- a) Inside private walled or fenced yards.

Minimum Plant Density:

- a) Trees: 1 per 400 square feet
- b) Shrubs: 2 per 100 square feet
- c) Ground covers: 30% of all disturbed landscaped area



II. SITE IMPROVEMENTS

Construction Period: The construction period shall not exceed 18 months from start of construction. Construction period is to be defined as starting when the pad is cleared and ending when the home is ready for occupancy.

Construction Standards: The Construction Standards provided in the next section of this document were written to help insure quality development and protection for the native vegetation. They are also provided to all home/lot owners as a guideline to help interpret the Protective Covenants. Please read them carefully.

Major items included in the Construction Standards are:

- a) Preservation of cacti and native vegetation.
- b) Construction
 - 1. Access
 - 2. Parking
 - 3. Security
 - 4. Debris
 - 5. Lighting
 - 6. Hours
 - 7. Contractor deposit

Building Materials: Masonry and stucco are recommended building materials and shall set a predominant construction theme throughout Redington Ranch. Permitted materials include:

- a) Cement stucco over CMU
- b) Split face concrete block
- c) Brick and mortar wash brick
- d) Fired adobe block
- e) Mud stucco over stabilized adobe block
- f) Natural rock
- g) Stucco over wood frame

All exposed wood timbers shall be kiln dried and bolted or strapped securely in place. Oversizing of structural exposed timbers is recommended with a minimum nominal thickness of 2-1/2". All exposed wood shall be treated with a preservative, stained or painted, and maintained. All exposed gutters, downspouts and sheet metal shall be painted.

Exterior appearance and colors: Exterior appearance shall blend with the natural surroundings and the landscaping. Exterior colors shall be earth tones; No white or near white colors allowed. Small amounts of accent colors are permitted. Colors must relate to each other, and high contrasts between colors are to be avoided. LRV's (Light Reflective Values) of selected colors need to be between 25 and 45. Actual exterior color samples shall be submitted at the time of Preliminary Plan Review. Each paint color is subject to the discretion of the Board relative to its aesthetic appeal and its fitness for this subdivision.

Clear aluminum window and doorframes are not permitted, nor are reflective surfaces. No white, light colored or reflective walls, fences or patio walls will be permitted.

Roof Materials: Natural clay Mexican tile roofs are encouraged and shall be used as a roof element rather than as decoration. Pitched roofs shall not exceed 6 to 11. Parapet roofs shall be continuous

around the roof perimeter. White or reflective roofs are permitted only if not visible from any other site. No gravel or shingle roofs except for wood shakes, will be approved.

Building Size: Each main residence must have a minimum enclosed area of 2000 square feet.

Building Mass: In order to enhance the concept of the predominance of the environment, building masses must be predominately horizontal rather than vertical, yet not create long unbroken elements. 'Massing' is the arrangement of three dimensional building solids that form the building. At least three distinct masses shall be visible from each building elevation. Each mass shall have a 10-foot minimum width or be 100 square feet minimum in roof area. In addition, each mass shall be represented by a minimum vertical or horizontal offset of 2 feet from any adjacent mass.

Building Height: A building height will not be approved in instances where it will adversely affect the views of others within Redington Ranch. Two story and split-level homes may be approved by the Board.

Finished floor elevations (FFE) will be determined on an individual basis, based on topographical contours of each lot. The FFE will be in relation to present benchmarks located in the streets.

The Board may require story poles to be installed prior to approval.

Building Walls: Walls which project in a way to reveal their thickness for primary elevations shall return or terminate into a 16" minimum appearance.

Walls: Patio walls, including utility yard enclosures, are extensions of the house design, shall be constructed from the same or compatible materials and earth tone colors as building walls, and shall comply with Maximum Wall Heights. Tennis court fencing may be constructed of materials ordinarily used for such purposes, and must provide visual screening.

No walls may encroach into the designated restricted areas.

Soften long wall lines with plan recesses and landscape for vertical and horizontal relief.

Maximum Wall Heights:

- a) 6' at front of dwelling
- b) 10' at tennis court

Driveways and Parking: Driveways shall be paved with acceptable paving materials. Driveway grading and paving shall minimize the disturbance of bordering natural vegetation.

Acceptable Paving Materials:

- a) Integrated color cement (earth tones)
- b) Chip and seal
- c) Asphalt
- d) Brick

Driveways shall be used for construction access and to accommodate guest parking. On-street parking is discouraged.

A minimum two-car garage with automatic door opener shall be provided for each home.

Trucks, boats, campers, trailers and other recreational vehicles shall not be parked, even temporarily, on the property except when stored within a garage or approved screened yard area.

Mechanical Equipment: No roof mounted mechanical equipment will be permitted. All equipment shall be screened in walled and gated areas and all pipes, chimneys and anything else which may be exposed above roof must be painted the same color as roof/house

Satellite Dishes and Radio/TV Antennae: This includes any kind of transmission or receiving towers and equipment.

- a) Cannot be on roof or external above roof line unless, in the case of satellite dishes they are 39" or smaller in diameter or, in the case of a mast antenna , less than 12' high.
- b) If not on the roof, must be a maximum of 10 ft. in diameter or smaller, and must be camouflaged and blend with environment, and shall not be visible from any other lot within Redington Ranch Estates.

III. SITE AMENITIES

Mailboxes: Mailboxes and their standards shall be uniform in design, shape, size, color and address.

Exterior Lighting: All outdoor lighting fixtures shall be down-shielded with low-pressure sodium lamps of no greater than a 75 watt bulb. All outdoor lighting fixtures shall conform to Pima County Exterior Light Filtration Code and shall be located and maintained so as not to interfere with surrounding properties. Streetlight standard and fixtures shall be uniform. No outdoor lighting shall be permitted at any private tennis court or similar recreation facility. All exterior lighting shall be submitted to the Approving Architect on a separate plan and approved as such. Malibu driveway lights are only allowed if adequately down shielded and use only low voltage lights.

Trash Receptacles: Trash receptacles shall be located below ground or in utility yards, screened by an approved enclosure or landscaping and concealed from view of adjoining lots. Receptacles shall not remain along street rights-of-way for more than twenty-four hours after collection.

Signage: No signs are permitted on any lot other than a name plate and/or address number of occupant, not to exceed one square foot in size. Such signs shall be uniform in shape, color and size as approved by the Board of Directors. If property is for sale, a Redington Ranch approved temporary sign not exceeding four square feet may be placed on the property. (See Redington Ranch Protective Covenants.)

Pools: The design of swimming pools, spas, and pool houses shall be approved by the Approving Architect whether or not construction accompanies dwelling unit or occurs thereafter. All associated mechanical equipment shall be concealed from view from adjoining properties and roadways.

Accessory Buildings: Tennis courts, guest houses, storage shed and other accessory structures shall be allowed only with permission of the Approving Architect. A written permit is required and structure design shall be approved by the Approving Architect.

IV. SUBMITTAL AND REVIEW PROCESS

Review Process: Approval of a detached single-family home by the Board involves successful completion of four stages:

1. Preliminary Review
2. Final Document Review
3. Pre-Construction Inspection
4. Final Site Inspection

These stages are progressive and are intended to assure compliance with the Redington Ranch Design Guidelines. All approvals shall be in writing from the Board.

Submit plans to:

Lee Rayburn Architect
10597 E John McNair Place
Tucson, Arizona 85747
520-977-0151

Review and approval of the submitted final plans applies only to planned site and building development and does not necessarily imply acceptance or approval of any project layout or construction.

Reviews are to determine the recommendation of the approving architect. Approval of submitted final plans must be obtained from the Homeowners Association.

Approvals and reviews from the Homeowners Association and reviewing architect are for compliance with applicable (Redington Ranch) Conditions, Covenants, Standards and Restrictions only. Separate approval and/or building permits may be required from Pima County and other agencies before any construction takes place. It is the responsibility of the homeowner to secure required approvals for any work undertaken.

Necessary forms are included in this manual. All forms, plans and documents shall be submitted in duplicate (you must provide two identical sets) with one copy to be retained by the Board and one returned to the applicant. All submittals must follow instructions and contain all required information, as outlined in these Design Guidelines. If a discrepancy occurs, plans will not be accepted for processing.

Throughout the Design Review Process, the "Contact" for the residence, given by the submitter, will be notified of any action taken involving that particular lot.

The fee for the review process is \$1,000.00. The total amount shall be submitted with the Preliminary Review request. This fee, made payable to Lee Rayburn, the Reviewing Architect, is nonrefundable in the event that the project is abandoned by the Owner or rejected by the Board. Additional review fees may be required for more than one submittal of preliminary and final plans for review, additions, etc.

All additions or modifications to exterior elevations, pools, patios, decks or free standing buildings shall be submitted to the Board through this approval process, whether or not construction accompanies initial development or occurs thereafter. The review fee for additions and modifications will be \$500.00. Failure to submit plans to the Board prior to obtaining governmental review or plan check through Pima County places the Owner at risk and is done at Owner's sole discretion.

Preliminary Review

Submit two (2) copies of each of the following:

1. Development Plans, including
 - a) Site plan
 - b) Grading plan
 - c) Preliminary landscape plan
2. Architectural Plans, including
 - a) Floor plan
 - b) Exterior elevations (with heights clearly indicated).

The Board requires that each category, i.e., site, grading, landscape, be on a separate sheet. Grading plan and site plan may be combined on one blue-line if so desired.

3. Completed Lot Data Form.
4. Fee: \$1,000.00 made payable to Lee Rayburn (Reviewing Architect).
5. Color Chips (Actual color samples of major exterior materials)

Final Document Review

Submit two (2) copies of each of the following:

1. Completed Plans and Specifications as would be submitted to Pima County for Building Permit.
2. Actual color samples of major exterior materials.
3. Final landscape plan. Construction Schedule.
4. Construction Inspections

Pre-construction Inspection Owner/Reviewing Architect walk-through. Lee Rayburn Architect is to be given three day's notice. (Committee representative attendance optional.)

1. Finished floor elevations. Benchmark Established
2. Building Corners Staked

Final Site Inspection Owner/Reviewing Architect walk-through. Lee Rayburn Architect is to be given three days notice. (Committee representative attendance optional.)

1. Review compliance with Design Guidelines
2. Final Approval.

Variances

The following procedure will apply for submitting variances to Redington Ranch:

1. Provide 2 sets of drawings to the reviewing architect showing the proposed variance comparable to the level of drawings submitted to obtain a permit from the County.
2. Provide photos or drawings of existing conditions.

3. Provide a letter describing the variance, listing the reasons why a variance from the guidelines is required, and what specific provisions of the guidelines are being varied.
4. Provide the reviewing architect with a signed statement from all adjacent neighbors that the variance meets their approval.
5. Lee Rayburn Architect will review and make recommendations in writing to the Redington Ranch Board regarding the proposed variance.
6. The Board will make the final decision regarding the variance.
7. Fee for variance review will be \$250.00.



Redington Ranch Lot Data Form

Owner: _____

Phone: _____

Email: _____

Date: _____

Address: _____ **Lot:** _____

Architect: _____ **Phone:** _____

Landscape Architect: _____ **Phone:** _____

Engineer: _____ **Phone:** _____

General Contractor: _____ **Phone:** _____

**Design Review Checklist
for Approving Architect**

A. Site Planning

Site Development

- Preservation of terrain and vegetation
- Continuity between adjacent lots

Open Space

- Natural drainageway easements

Grading

- Conformance with natural topography
- Cut and Cut and Fill Slope Specifications compliance
- Rock and riprap limitations

Setbacks (from roadways)

- Buildings
- Walls

Saguaros/Native Plants

- Retention Schedule

B. Site Improvements

Buildings

- Materials

- Roof
- Colors
- Heights
- Design

Walls

- Permitted materials
- Heights
- Colors
- Design

Mechanical Equipment and Utility Yards

- Yard enclosures
- Meter screens

Parking

- County Code Requirements
- Guest parking

Landscaping

- Adherence to Plant Materials
- Adherence to Plant lists
- Adherence to Plant Density

Site Distances

Irrigation

C. Site Amenities

Trash Receptacles

- Placement
- Screening

Exterior Lighting

- Fixture and shielding

Pools

- Design
- Equipment screening

D. Construction Standards

- Building corners staked
- Finished floor elevation benchmark
- Access to lot
- Contractor deposit

E. Exterior Lighting Plan

Approved Plant Lists

Trees

- Acacia - *Acacia shaffneri*
- African Sumac - *Rhus lancea*
- Arizona Cypress - *Cupressus arizonica*
- Australian Willow - *Geijera parviflora*
- Blue Palo Verde - *Cercidium, floridum*
- Chilean Mesquite - *Prosopis chelensis*
- Desert Willow - *Chilopsis linearis*
- Featherbush - *Lysiloma thornberi*
- Foothills Palo Verde - *Cercidium microphyllum*
- Mesquite - *Prosopis velutina*
- Mexican Palo Verde - *Parkinsonia aculeata*
- Palo Brea - *Cercidium praecox*
- Saguaro - *Carnegiea gigantea*
- Sweet Acacia - *Acacia farnesiana*
- Texas Ebony - *Pithecelobium flexicaule*

- Texas Mountain Laurel - *Sophora secundiflora*
- Western Hackberry - *Celtis reticulata*
- Whitethorn Acacia - *Acacia constricta*

Shrubs

- Arizona Rosewood - *Vauquelinia California* Big Saltbush *Atriplex lentiformis*
- Briittlebush - *Encelia farinose*
- Bush Lantana - *Lantana camara*
- Catclaw Acacia - *Acacia greggii*
- Cholla varieties - *Oppuntia* varieties
- Creosote Bush - *Larrea tridentata*
- Desert Broom - *Baccharis saronthroides*
- Desert Hackberry - *Celtis pallida*
- Fairy Duster - *Calliandra eriophylla*
- Feathery Cassia - *Cassia artemisioides*
- Four-wing Saltbush - *Atriplex canescens*
- Hopbush (Green & Purple) - *Dodonaea viscosa*
- Jojoba - *Simmondsia chinensis*
- Mexican Honeysuckle - *Justicia ghiesbreghtiana*
- Ocotillo - *Fouquieria splendens*
- Pfitzer Juniper - *Juniperus chinensis* "Pfitzeriana"
- Prickly Pear - *Opuntia* varieties
- Purple Cholla varieties - *Opuntia* varieties
- Purple Prickly Pear - *Opuntia* varieties
- Red Bird-of-Paradise - *Caesalpinia pulcherrima*
- Shrubby Senna - *Cassia wislizenii*
- Silvery Cassia - *Cassia phyllodinea*
- Soap tree - *Yucca elata*
- Spanish Bayonet - *Yucca aloifolia*
- Teddybear Cholla - *Opuntia* varieties
- Texas Ranger - *Leucophyllum frutescent*
- Wolfberry - *Lycium brlanderii*
- Yellow Bird-of-Paradise - *Caesalpinia gilliesii*
- Yucca - *Yucca* species

Ground Covers and Vines

- Agave - *Agave Americana*
- Aloe - *Aloe saponaria*
- Arcadia Juniper - Australian saltbush
- Barrel Cactus - *Ferrocactus wislizenii*
- Bright Bead Cotoneaster - *Cotoneaster glaucophyllus*
- Burroweed - *Aplopappus fruticosus*
- Bursage (Triangle) - *Franseria deltoids*
- Bursage (White) - *Franseria dumosa*
- Desert Marigold – *Baileyamultiradiata*
- Desert Spoon - *Dasyilirion wheeleri*
- Desert Zinnia - *Zinnia pumila*
- Dwarf Coyote Bush - *Baccharis pilularis*
- Fountain Grass - *Pennisetum setaceum*
- Indigo Bush - *Dalea greggii*
- Sand Verbena - *Verbena peruviana*

- Santolina (Green and Gray) - Santolina chamaecyparissus
- Trailing Acacia - Acacia Redolens
- Trailing Lantana - Lantana montevidensis
- Trixis - Trixis californica

Flowering Desert Seed Mix

- African Daisy - Dimorphoteca aurantiaca
- Arizona Poppy - Kallstroemia grandiflora
- Brittlebush - Encelia farinose
- California Poppy - Eschscholtzia californica
- Desert Marigold - Baileya multiradiata
- Desert Senna - Cassia covesii
- Evening Primrose - Oenothera speciose
- Fairy Duster - Calliandra eriophylla
- Firecracker Penstemon - Penstemon eatonii
- Fluff Grass - Tridens pulchellus
- Globe Mallow - Sphaeralcea ambigua
- Great Basin Blue Sage - Salvia dorrii
- Lupine - Lupinus sparsiflorus
- Paper Flower - Psilostrophe cooperi
- Penstemon - Penstemon parryi
- Plantago - Indian Wheat - Plantago insularious
- Royal Desert Lupine (Blue) - Lupinus odoratus
- Sand Verbena - Abronia villosa
- Verbena - Verbena gooddingii
- Yellow Bird-of-Paradise - Oenothera Drummond

Construction Standards - October 2006

The Redington Ranch Approving Architect will interpret, approve and enforce the following standards:

1. To Preserve Cacti and Other Vegetation and Undisturbed Areas

a) Saguaro Cactus

Definition: Mature saguaro – any saguaro cacti with the capacity to flower.

The cacti shall be preserved. The construction site plan shall show all mature cacti to be preserved, cacti to be relocated, and native vegetation to be left undisturbed before proceeding with any clearing, grubbing or grading work. An inventory shall be made of all mature saguaro and be shown on the site plan.

i. Native Vegetation

Definition: Immature saguaros, barrel cacti, other varieties of cacti, Mesquite trees, Palo Verde trees and all other natural vegetation.

The Builder shall comply with all State of Arizona laws and regulations governing native trees, cacti and plants.

Native vegetation shall be preserved where possible. Special effort shall be made to protect any "specimen" cacti or trees.

2. Access to Project

- a) You shall install and maintain approved temporary directional signs at the entrance to the project from any public roads and along the designated project access to the site. Upon completion of the work, you shall remove all signs from the project.
- b) It shall be your responsibility to control the dust within your site to ensure that it does not cause problems for other homeowners.

3. Construction Office and Yard

- a) If you elect to set up a job office and/or maintenance yard, you shall obtain approval of Redington Ranch's Approving Architect for the location and size of this office and/or yard.
- b) You are responsible for security, maintenance and appearance of any offices and/or maintenance yards.

4. Parking of Trucks and Personal Vehicles

- a) Personal vehicles shall be assigned an area on your site for parking. You shall keep in mind preservation of native vegetation in the assignment of this parking area. Personal vehicles shall not be allowed out of this area.
- b) Construction trucks required for performance of the work are the only vehicles permitted out of the designated parking areas.

5. Security

Security of each site shall be the sole responsibility of the developer for that site. Redington Ranch shall be advised of any security systems to be used. Responsible parties with name, current addresses and telephone number shall be kept on file with the Redington Ranch Manager.

6. Site Utilities

- a) Redington Ranch shall furnish permanent utilities to certain distribution points. These utilities shall include water, electric, telephone and cable television.
- b) In the event that you should begin construction prior to installation of permanent utilities, it shall be your responsibility to furnish temporary utilities for your use at your own expense.
- c) If it becomes necessary for you to use any equipment or machinery for temporary utilities, this equipment shall have appropriate sound control devices so as to minimize objectionable noise.

- d) All existing utilities shall be located and protected at your expense prior to the start of construction.
- e) During construction, you shall maintain portable sanitary facilities. These facilities shall be cleaned a minimum of twice weekly.

7. Heavy Equipment/Trucks

No equipment or trucks shall be permitted to operate outside the limits of the site access, yards, parking or construction access areas designated on the approved construction site plan. Heavy equipment operators and truck drivers should be advised of the consequences of violating provisions of any of these construction standards of Redington Ranch.

8. Construction Debris

- a) The builder shall safely maintain his assigned area for the temporary accumulation of debris and shall dispose of all debris no less than weekly and at more frequent intervals if so requested by the Redington Ranch Manager.
- b) Any debris not contained within your site shall be cleaned up immediately. If not, it will be removed at your expense by Redington Ranch.
- c) Concrete truck wash outs shall be permitted only on the area approved for construction on the site plan, never in setback areas.
- d) Organic materials shall be removed from Redington Ranch and disposed of in accordance with the laws and regulations of the appropriate government agencies.

9. Lighting

Security and construction lighting shall be approved by the Approving Architect and work may not be permitted if, in the opinion of the Approving Architect, it could be a safety hazard or objectionable to surrounding neighbors. All lighting shall conform to the Pima County Light Filtration and Exterior Shielding Code.

10. Liquor or Drugs, Noise

- a) Consumption of alcoholic beverages or the use of drugs on Redington Ranch will not be permitted.
- b) Use of radios or similar devices for other than business purposes will not be permitted.

11. Hours/Days of Work

- a) The normal work week shall be five (5) days Monday through Friday except for the following holidays:
 - New Year's Day
 - Memorial Day
 - Fourth of July
 - Labor Day
 - Thanksgiving
 - Christmas
- b) The normal workday shall be from 6:00 AM to 5:00 PM April 1 through September 30 and 7:00 AM to 5:00 PM October 1 through March 31.

- c) Exceptions to this schedule shall be requested 72 hours in advance. Your reasons for an exception should be clearly stated. Redington Ranch's Approving Architect's decision shall be final.

12. Construction Site Plan

Redington Ranch may require a Construction Site Plan in addition to the Site Plan required by the Development Standards. This plan shall show the following items:

1. Proposed construction access within your site
2. Proposed construction office(s) and your yard(s)
3. Proposed employee parking area
4. Protection and relocation of Saguaro cacti
5. Location of all temporary utilities
6. Disposal Area for concrete truck wash out
7. Construction access areas for each freestanding building or structure

13. Access to Redington Ranch

To access Redington Ranch, Contractor should provide a letter from the lot owner detailing how the Contractor plans to access the site. The following options are available:

- a) Front Gate security system - The telephone number to be assigned to the Lot at the gate entrance system must be provided. Contractor will let subcontractors in.
- b) Contractor will be loaned a gate opener (security deposit of \$250) and will be on site to let subs into construction site.
- c) Contractor assigns a bonded security person one hour, morning and lunch, to let subs in to construction site.

14. Lot Owner's Construction Deposit

A \$5,000.00 deposit must be paid to the Association to be held by the Association Board of Directors throughout the construction period. The deposit must be delivered to the Board President or Treasurer before plans will be approved by the Approving Architect and returned to the Contractor. The deposit will be returned to the Lot Owner subject to the following:

- a) The purpose of the deposit is to ensure compliance with the Protective Covenants and Construction Standards.
- b) The procedure for reporting and adjudicating violations and complaints, except those involving working hours or noise complaints, will be as follows:
 - i. A violation/complaint noted by any Redington Ranch member will be communicated to the President of the Board who will contact the Lot Owner regarding the complaint. The President will document the time and date the Lot Owner was notified. The Lot Owner will have five working days from the time of notification to correct the problem to the satisfaction of the President.
 - ii. If the Lot Owner fails to correct the problem within the five working days, the Lot Owner will be fined \$500.00, which will be deducted from the deposit balance and transferred to the Association.
 - iii. If a second five working day period expires without corrective action, the Lot Owner will be fined an additional \$1,000, which will be deducted from the

deposit and transferred to the Association. These deductions will continue at five working day intervals until corrective action is taken or the entire deposit is depleted. If the entire deposit is depleted, either through lack of correction of a single problem or through multiple violations, the Board will revoke the Lot Owners permission to build within Redington Ranch and will cancel all approved plans for construction. The Lot Owner will also be held responsible to pay either directly or through a reduction in the deposit any legal expenses the Association may incur to implement corrective action.

- iv. The deposit of any portion thereof remaining will be returned to Lot Owner within 30 days of the satisfactory completion of construction.
- c) The procedure for reporting and adjudicating complaints involving violations concerning work hours and noise will be as follows:
- i. A Redington Ranch member will contact a Board Member when a problem occurs. Together they will meet at the problem construction site as soon as possible to evaluate the situation. If an immediate solution cannot be found, the Lot Owner will be notified of the violation. The first complaint will result in a warning only.
 - ii. A second complaint will result in a \$500.00 fine that will be deducted from the deposit.
 - iii. A third and any subsequent complaint will result in a \$1,000.00 fine that will be deducted from the deposit. If the deposit is depleted, the same actions described in (b)(iii) will be taken.