

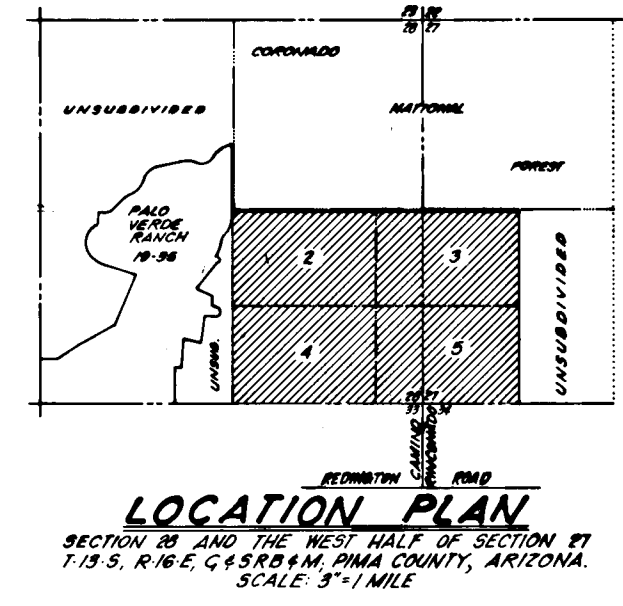
REDINGTON RANCH

MP 35043

RECORDED: JUNE 4, 1982

***** THE FOLLOWING PLAT IS AN ANNOTATED
VERSION OF THE ORIGINAL DOCUMENT. IT HAS
BEEN ALTERED BY PIMA COUNTY DEVELOPMENT
SERVICES TO SHOW ADDITIONAL INFORMATION.
ORIGINAL COPIES MAY BE OBTAINED FROM THE
PIMA COUNTY RECORDER*****

ANNOTATED COPY



-APPROVALS-

Ed Walbert
 PIMA COUNTY PLANNING DEPARTMENT
 DATE 5-28-82
Bob Walbert
 PIMA COUNTY DEPARTMENT OF TRANSPORTATION and FLOOD CONTROL DISTRICT
 DATE 5-25-82
John S. P.
 PIMA COUNTY DEPARTMENT OF WASTEWATER MANAGEMENT
 DATE 5-28-82
 I, EUGENIA W. WELLS, CLERK OF THE BOARD OF SUPERVISORS, HEREBY CERTIFY THAT THIS PLAT WAS APPROVED BY THE BOARD OF SUPERVISORS OF PIMA COUNTY, ARIZONA ON THIS THE 7th DAY OF MAY, 1982.
Eugenia W. Wells
 CLERK, BOARD OF SUPERVISORS
 DATE 6/3/82

-GENERAL NOTES-

- 1 THE GROSS AREA OF THIS SUBDIVISION IS 232.75 ACRES.
- 2 THE TOTAL NUMBER OF LOTS IS 67.
- 3 EXISTING ZONING - S.R. TO REMAIN (TO BE DEVELOPED UNDER CLUSTER OPTION AS APPROVED ON JUNE 23, 1981.)
- 4 ALL PUBLIC ROADS ON OR ADJACENT TO THIS SUBDIVISION SHALL BE CONSTRUCTED IN ACCORDANCE WITH APPROVED PLANS TO MINIMUM PIMA COUNTY STANDARDS FOR PAVED ROADS AND CONSTRUCTION PLANS SHALL BE SUBMITTED TO THE PIMA COUNTY DEPARTMENT OF TRANSPORTATION AND FLOOD CONTROL DISTRICT FOR REVIEW AND APPROVAL OR ASSURANCES ACCEPTABLE TO THE PIMA COUNTY DEPARTMENT OF TRANSPORTATION AND FLOOD CONTROL DISTRICT SHALL BE RECEIVED PRIOR TO THE ISSUANCE OF ANY PERMITS FROM THE ZONING INSPECTOR.
- 5 ALL ROADS AND DRAINAGE FACILITIES ON OR ADJACENT TO THIS SUBDIVISION WILL BE CONSTRUCTED IN ACCORDANCE WITH APPROVED PLANS.
- 6 THE AREA WITHIN THE 100-YEAR FLOOD PRONE LINES REPRESENTS AN AREA WHICH IS SUBJECT TO FLOODING FROM A 100-YEAR FREQUENCY FLOOD, AND ALL LAND IN THIS FLOOD PRONE AREA SHALL BE RESTRICTED TO USES THAT ARE COMPATIBLE WITH FLOOD PLAIN MANAGEMENT AS STATED IN PIMA COUNTY ORDINANCE NUMBER 1974-86. ALL LOTS CONTAINING LAND WITHIN THE DELINEATED 'FLOOD PRONE AREA' SHALL HAVE DEED RESTRICTIONS PLACED UPON THEM WHICH INDICATE COMPLIANCE WITH SAID ORDINANCE.
- 7 BASIS OF BEARING - G.L.O. - THE SOUTH SECTION LINE OF SECTION 28, T.13.S., R.16.E., SAID BEARING BEING N.89°56'00"W.
- 8 PHYSICAL ACCESS WILL BE THE RESPONSIBILITY OF THE INDIVIDUAL LOT OWNERS ACROSS THE 100 YEAR FLOOD PRONE AREA TO THE BUILDING SITES ON LOTS 27, 53, 61 and 62. CONSTRUCTION PLANS FOR SAID ACCESS WILL BE SUBMITTED TO THE PIMA COUNTY DEPARTMENT OF TRANSPORTATION AND FLOOD CONTROL DISTRICT FOR REVIEW AND APPROVAL. IN ADDITION, THE OWNER WILL CONSTRUCT THE ACCESS ACROSS THE 100-YEAR FLOOD PRONE AREA IN ACCORDANCE WITH APPROVED PLANS PRIOR TO THE OCCUPANCY OF SAID LOTS.
- 9 ALL WEATHER ACCESS WILL BE PROVIDED TO ALL LOTS.
- 10 ANY UTILITIES THAT MAY HAVE TO BE RELOCATED AS A RESULT OF THIS DEVELOPMENT WILL BE DONE SO AT NO EXPENSE TO THE PUBLIC.
- 11 LOTS 1 thru 27, 37 thru 46, 49 thru 52, 54 thru 58 and 60 thru 67 ARE SUBJECT TO THE HILLSIDE DEVELOPMENT ZONE ORDINANCE AND ANY CONSTRUCTION OR DEVELOPMENT TO BE PLACED THEREON SHALL CONFORM TO THE REQUIREMENTS OF SAID ORDINANCE PRIOR TO THE ISSUANCE OF BUILDING PERMITS BY THE ZONING INSPECTOR.
- 12 A FLOOD PLAIN USE PERMIT WILL BE OBTAINED FOR LOTS 7-11, 13, 14, 17, 22-26, 32-34, 37-43, 45, 49, 52, 60-63 AND 67 PRIOR TO THE ISSUANCE OF ANY PERMITS FROM THE ZONING INSPECTOR.
- 13 CLUSTER CALCULATIONS:
 A. GROSS AREA OF SUBDIVISION - 232.75 ACRES.
 B. AREA OF PRIVATE STREETS - 11.09 ACRES.
 C. NET AREA - 221.65 ACRES.
 D. ALLOWABLE DENSITY - 67 LOTS.
 E. NUMBER OF UNDERSIZED LOTS - 67 LOTS; AREA - 8,142,662 SQ. FT.
 F. OPEN SPACE REQUIRED - (144,000 ÷ 67) - 8,149,742 SQ. FT. OR - 34.53 ACRES.
 G. OPEN SPACE PROVIDED - 1,512,603 SQ. FT. OR 34.72 ACRES.
- 14 INDICATES RESTRICTED AREAS (NO DEVELOPMENT ALLOWED)
- 15 ○ INDICATES 5/8" STEEL PIN TAGGED R.L.S. 4785 SET AT ALL P.C., P.T., P.C.C., P.R.C. AND AT ALL PROPERTY LINE CURVES AND BOUNDARY CORNERS.
- 16 ▲ INDICATES A NEW SURVEY MONUMENT, SET 2" BRASS CAP IN CONCRETE MARKED R.L.S. 4785.
- 17 ③ INDICATES A CURVE, SEE CURVE DATA TABLE.
- 18 (R) INDICATES A RADIAL LINE.
- 19 ● INDICATES A FOUND MARKER AS NOTED.
- 20 $\frac{1}{2}$ INDICATES 100 YEAR WATER SURFACE ELEVATION AND DIRECTION OF FLOW.
- 21 ■ INDICATES 5'-3" PEDESTAL EASEMENT.
- 22 □ INDICATES 6'-6" TRANSFORMER EASEMENT.
- 23 $\frac{1}{2}$ PEDESTRIAN/EQUESTRIAN ACCESS TO THE CORONADO NATIONAL FOREST IS HEREBY GRANTED TO THE PUBLIC ALONG CAMINO RINCONADO, SANUARIO SUNSET, OUTPOST ROAD AND ALONG THE BOUNDARY OF LOTS 36 AND 37.
- 24 THE AVERAGE CROSS-SLOPE OF THE ENTIRE PARCEL IS 16.1%.
- 25 INGRESS/EGRESS and UTILITY ESMT. SET FORTH AND GRANTED BY DKT. 8008, PG. 450 + 456 and as AMENDED BY DKT. 8082, PG. 1362 (AFFECTING THE S.W. 1/4 OF SEC. 27) IS HEREBY FURTHER AMENDED TO SHOW AFORESAID AREA TO BE LOOKOUT LANE.
- 26 THERE EXISTS A 30' RIGHT-OF-WAY EASEMENT IN THE N.W. 1/4 OF THE S.W. 1/4 OF SECTION 27 AS RECORDED IN DKT. 4549 AT PG. 320 TO BE RELOCATED BY DKT. 6646 at PG. 111.

-ASSURANCES-

SATISFACTORY ASSURANCES IN THE FORM OF A TRUST AGREEMENT, TRUST No. 10,405 FROM TITLE INSURANCE COMPANY OF MINNESOTA IN DOCKET BOOK 6795, PAGES 758-761 HAVE BEEN PROVIDED TO GUARANTEE STREET IMPROVEMENTS, DRAINAGE IMPROVEMENTS, SANITATION IMPROVEMENTS AND UTILITY IMPROVEMENTS (ELECTRIC, GAS AND WATER) IN THIS SUBDIVISION.
John S. P.
 CHAIRMAN, PIMA COUNTY BOARD OF SUPERVISORS
 DATE 6/1/82

-CERTIFICATION OF SURVEY-

WE HEREBY CERTIFY THAT THE BOUNDARY SURVEY ON THIS PLAT WAS PERFORMED UNDER OUR DIRECTION AND THAT ALL EXISTING AND/OR PROPOSED SURVEY MONUMENTS AND MARKERS SHOWN ARE CORRECTLY DESCRIBED. WE FURTHER CERTIFY THAT THIS PLAT WAS PREPARED UNDER OUR DIRECTION.

Paul Osborn
 ARIZONA REGISTRATION No. 9574
Arthur G. Petterson
 ARIZONA REGISTRATION No. 4785

-CERTIFICATION OF WATER ADEQUACY-

THIS DEVELOPMENT LIES WITHIN AN AREA DESIGNATED AS HAVING AN ASSURED WATER SUPPLY.
 BY John B. Oden
 SUBDIVISION COORDINATOR
 DATE May 25 '82

GENERAL NOTES (continued)

- 27 THERE EXISTS A 60' RIGHT-OF-WAY EASEMENT KNOWN AS EL CAMINO RINCONADO AS RECORDED IN BOOK 2 OF ROAD MAPS AT PAGE 119 ABANDONED BY PROCEEDINGS No. 2429.
- 28 THERE EXISTS AN EASEMENT FOR THE PURPOSE TO MOVE CATTLE AND FOR INGRESS TO FT. LOWELL ROAD EXTENSION OVER PORTIONS OF THE S.E. 1/4 OF SEC. 28 AS RECORDED IN DKT. BK. 6019 AT PG. 705.
- 29 SEWAGE DISPOSAL FOR LOTS 1 thru 67 WILL BE BY PRIVATE INDIVIDUAL DISPOSAL SYSTEMS. ALL LOTS EXCEPT 26, 39, 50, 64, 65 and 67 WILL BE SUPPORTED BY EVAPO-TRANSPIRATION SYSTEM AND/OR OTHER TYPE OF ENGINEERED SYSTEM.
- SEE SUBD. FILE (LOT 65)

-DEDICATION-

WE, THE UNDERSIGNED, HEREBY WARRANT THAT WE ARE ALL AND THE ONLY PARTIES HAVING ANY RECORD TITLE INTEREST IN THE LAND SHOWN ON THIS PLAT AND WE CONSENT TO THE SUBDIVISION OF SAID LAND IN THE MANNER SHOWN HEREON.

WE HEREBY GRANT TO PIMA COUNTY AND ALL UTILITY COMPANIES ALL EASEMENTS AS SHOWN HEREON FOR THE PURPOSE OF INSTALLATION AND MAINTENANCE OF UTILITIES AND OTHER USES AS DESIGNATED BY THIS PLAT. WE HEREBY GRANT TO THE PUBLIC PED/EQUEST. ACCESS TO THE CORONADO NATIONAL FOREST ALONG CAMINO RINCONADO, SANUARIO SUNSET, OUTPOST ROAD AND ALONG THE BOUNDARY OF LOTS 36 AND 37.
 COMMON AREA "A" AND COMMON AREA "B" (PRIVATE STREETS), AS SHOWN HEREON ARE RESERVED FOR THE PRIVATE USE AND CONVENIENCE OF ALL OWNERS OF PROPERTY WITHIN THIS SUBDIVISION, THEIR GUEST AND INVITEES AND ARE GRANTED TO PIMA COUNTY AND ALL UTILITY COMPANIES FOR THE MAINTENANCE AND INSTALLATION OF UTILITIES.
 TITLE TO THE LAND OF COMMON AREA "A" AND COMMON AREA "B" (PRIVATE STREETS) SHALL BE VESTED IN AN ASSOCIATION OF INDIVIDUAL LOT OWNERS AS ESTABLISHED BY COVENANTS, CONDITIONS AND RESTRICTIONS RECORDED IN DOCKET BOOK 6795 AT PAGES 762-772 IN THE OFFICE OF THE PIMA COUNTY RECORDER. EACH AND EVERY LOT OWNER WITHIN THE SUBDIVISION SHALL BE A MEMBER OF THE ASSOCIATION, WHICH WILL ACCEPT ALL RESPONSIBILITY FOR THE CONTROL, MAINTENANCE, SAFETY AND LIABILITY OF COMMON AREA "A" AND COMMON AREA "B" (PRIVATE STREETS) WITHIN THIS SUBDIVISION, AS SHOWN HEREON.

WE, THE UNDERSIGNED, OUR SUCCESSORS AND ASSIGNS, DO HEREBY SAVE PIMA COUNTY, ITS SUCCESSORS AND ASSIGNS, THEIR EMPLOYEES, OFFICERS AND AGENTS HARMLESS FROM ANY AND ALL CLAIMS FOR DAMAGES RELATED TO THE USE OF SAID LANDS NOW AND IN THE FUTURE BY REASON OF FLOODING, FLOWAGE, EROSION OR DAMAGE CAUSED BY WATER, WHETHER SURFACE, FLOOD OR RAINFALL. IT IS FURTHER UNDERSTOOD AND AGREED THAT DRAINAGE SHALL NOT BE ALTERED, DISTURBED OR OBSTRUCTED OTHER THAN AS SHOWN HEREON WITHOUT THE WRITTEN APPROVAL OF THE PIMA COUNTY FLOOD PLAIN BOARD.

Title Insurance Company of Minnesota, an ARIZONA CORPORATION, AS TRUSTEE UNDER TRUST No. 10,405 AND NOT OTHERWISE.

BY Barbara L. Miller
 TRUST OFFICER

STATE OF ARIZONA s.s.
 COUNTY OF PIMA

ON THIS THE 20th DAY OF MAY, 1982, BEFORE ME ROSE FRANCES EAZER THE UNDERSIGNED, PERSONALLY APPEARED BARBARA L. MILLER WHO ACKNOWLEDGED HERSELF TO BE THE TRUST OFFICER OF TITLE INSURANCE COMPANY OF MINNESOTA, AN ARIZONA CORPORATION AND THAT SHE AS SUCH TRUST OFFICER BEING AUTHORIZED SO TO DO, EXECUTED THE FOREGOING INSTRUMENT FOR THE PURPOSES THEREIN CONTAINED.

IN WITNESS WHEREOF I HEREUNTO SET MY HAND AND OFFICIAL SEAL.
Rose Frances Eazer (Creed) Hase
 NOTARY PUBLIC
 10-24-83
 MY COMMISSION EXPIRES

Beneficiary of Trust No. 10,405:
 Decker Properties, an Arizona partnership
 6417 East Grant Road
 Tucson, Arizona 85715

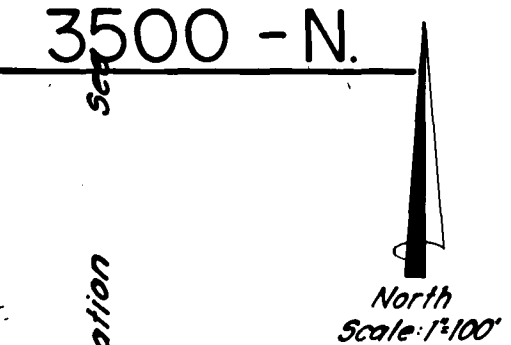
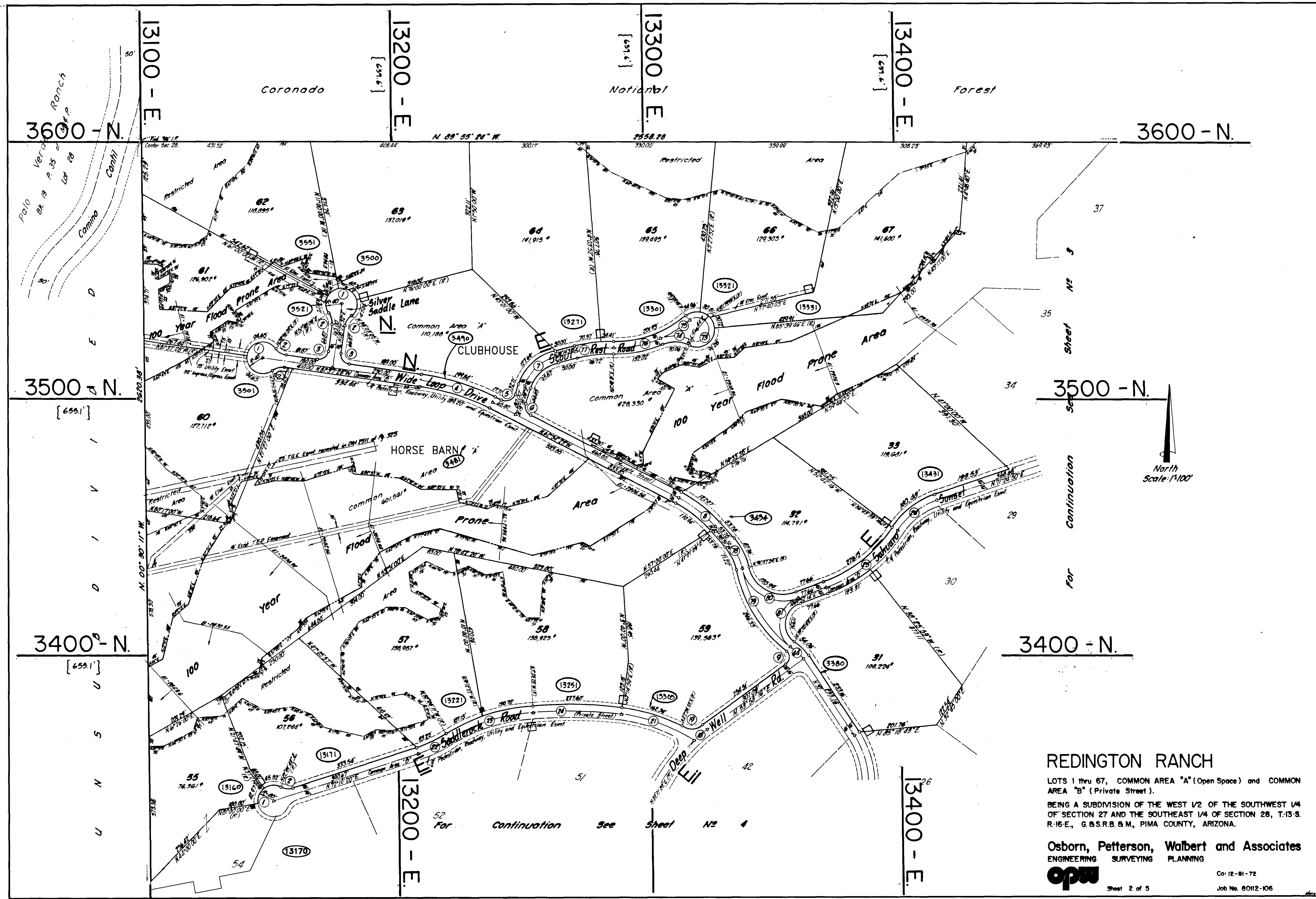
MAP 125
ZONE SR Cluster Development
 Option See Sec. 610k

REDINGTON RANCH


LOTS 1 thru 67, COMMON AREA "A" (Open Space) and COMMON AREA "B" (Private Street).
 BEING A SUBDIVISION OF THE WEST 1/2 OF THE SOUTHWEST 1/4 OF SECTION 27 AND THE SOUTHEAST 1/4 OF SECTION 28, T.13.S., R.16.E., G.4.S.R.B. & M., PIMA COUNTY, ARIZONA.

Osborn, Petterson, Walbert and Associates
 ENGINEERING SURVEYING PLANNING



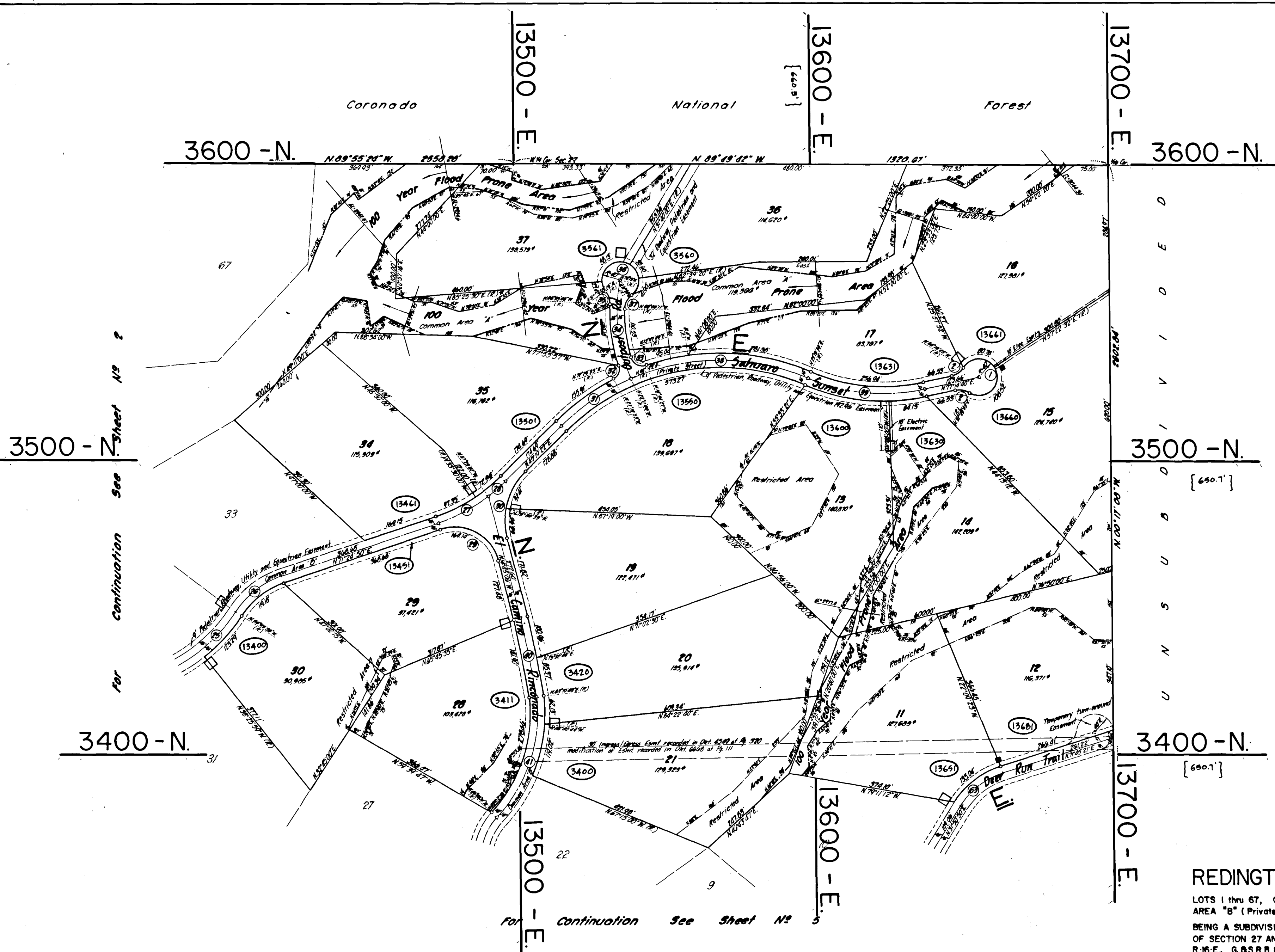


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Osborn, Petterson, Walbert and Associates
 ENGINEERING SURVEYING PLANNING

 Co: 12-81-72
 Job No. 80112-106

52 For Continuation See Sheet No. 4

Sheet No. 3
Continuation
For



For Continuation See Sheet No 2

For Continuation See Sheet No 5

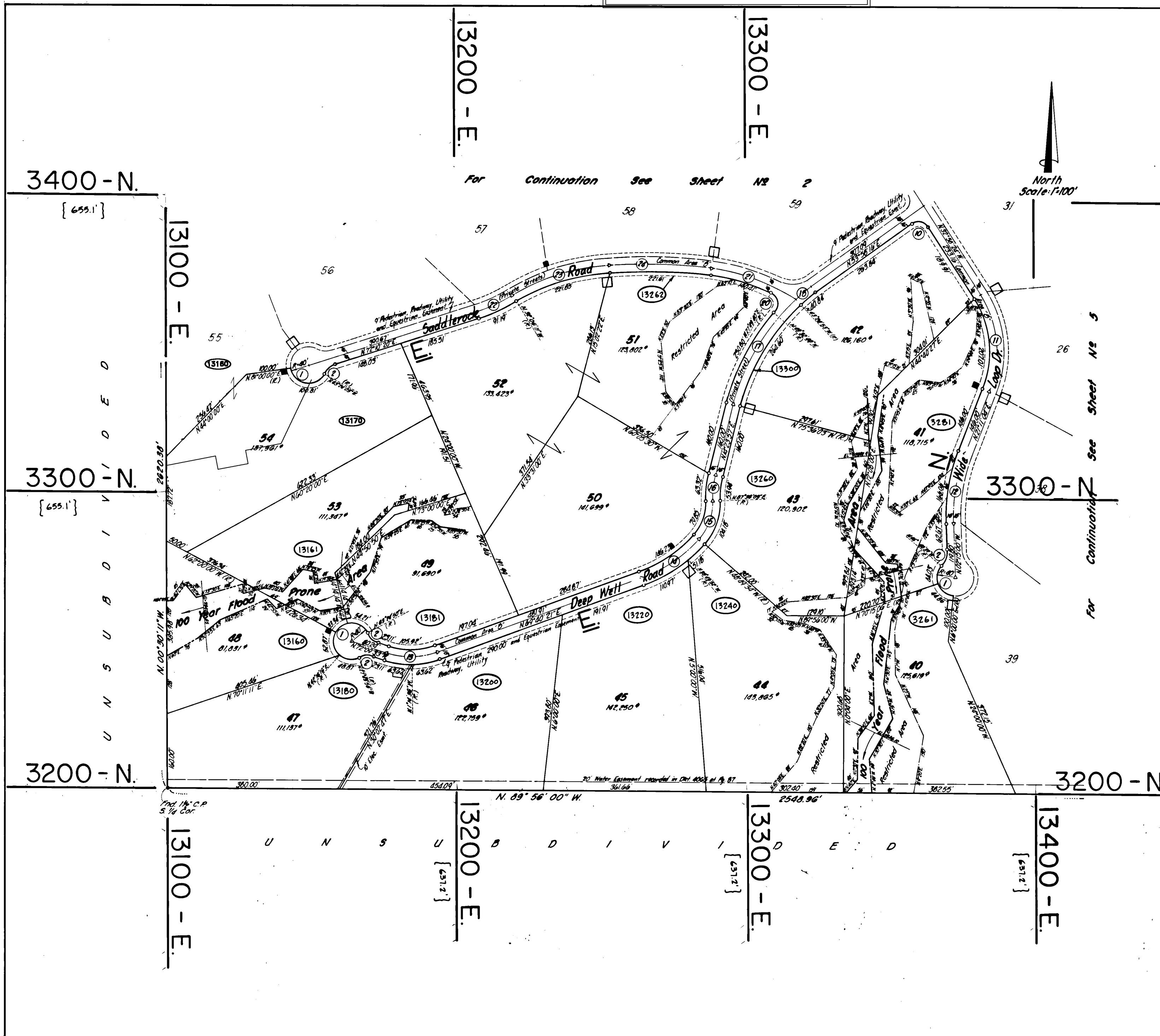
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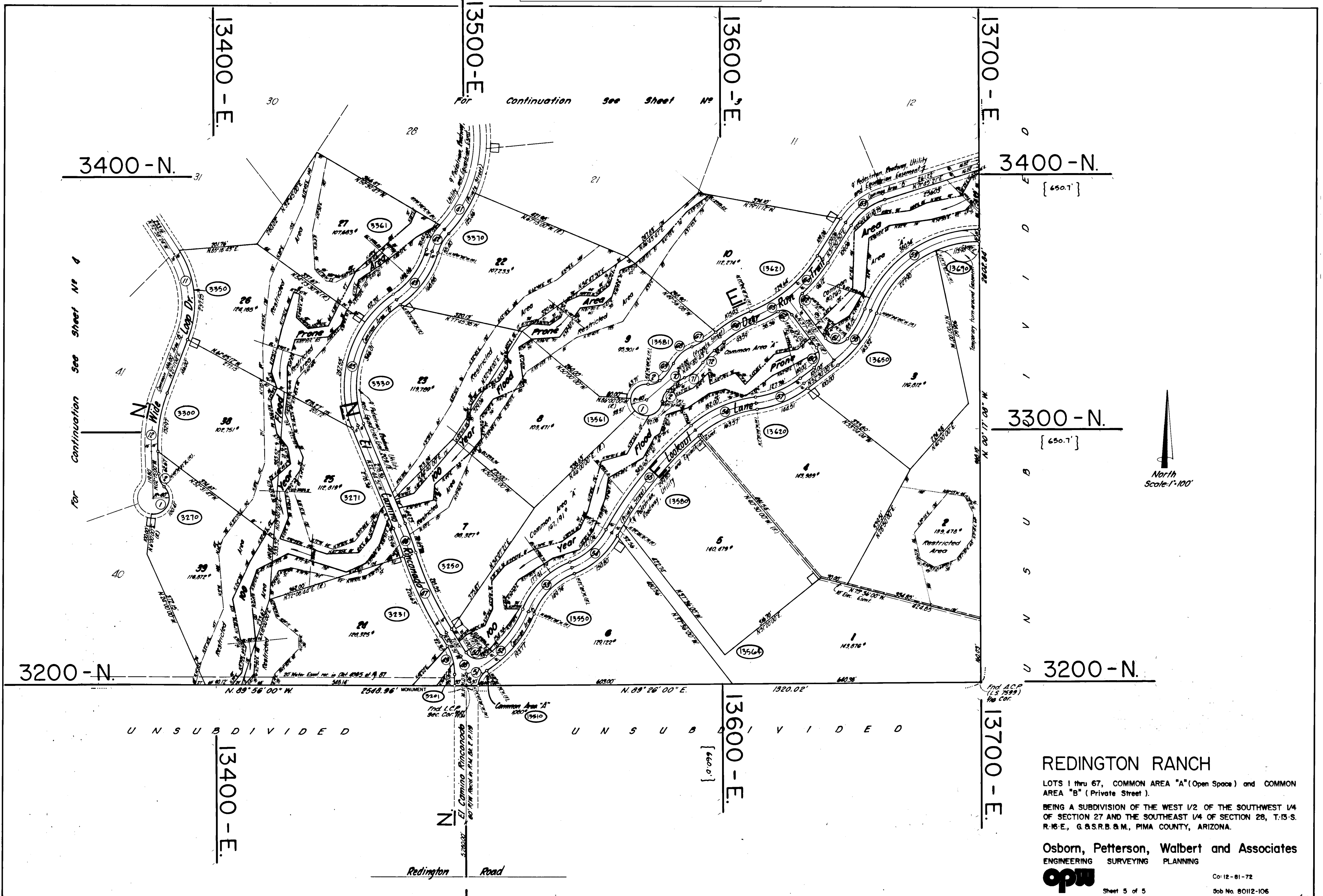
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CURVE DATA TABLE				
NO.	DELTA	RADIUS	LENGTH	TANGENT
1.	271° 00' 46"	40.00'	189.30'	-99.21'
2.	45° 34' 23"	40.00'	51.82'	18.30'
3.	90° 00' 00"	25.00'	39.27'	25.00'
4.	19° 03' 05"	585.00'	185.52'	98.17'
5.	98° 08' 51"	25.00'	42.83'	28.83'
6.	81° 31' 09"	25.00'	35.72'	21.68'
7.	56° 57' 52"	112.43'	111.78'	61.00'
8.	19° 55' 32"	335.00'	116.50'	58.85'
9.	104° 32' 53"	42.93'	41.04'	29.64'
10.	84° 03' 20"	25.00'	40.60'	26.87'
11.	54° 08' 28"	235.00'	222.13'	120.15'
12.	23° 26' 04"	390.00'	159.51'	80.88'
13.	38° 10' 08"	175.00'	116.38'	60.55'
14.	28° 28' 55"	310.00'	154.19'	78.79'
15.	43° 38' 17"	121.00'	82.02'	48.36'
16.	16° 47' 48"	200.00'	50.63'	29.53'
17.	32° 07' 10"	488.00'	273.57'	140.48'
18.	7° 27' 09"	390.00'	42.82'	21.49'
19.	63° 00' 37"	51.23'	56.93'	31.81'
20.	104° 24' 47"	25.00'	45.56'	32.20'
21.	26° 08' 29"	440.00'	200.50'	102.02'
22.	14° 16' 31"	350.00'	87.20'	43.83'
23.	28° 57' 43"	460.00'	229.85'	117.38'
24.	10° 48' 27"	1200.00'	224.61'	112.63'
25.	56° 36' 13"	370.00'	236.38'	122.38'
26.	38° 08' 49"	195.00'	129.88'	67.42'
27.	18° 47' 52"	390.00'	127.85'	64.56'
28.	7° 17' 36"	390.00'	49.64'	24.86'
29.	83° 50' 04"	100.29'	164.14'	107.17'
30.	60° 04' 28"	152.00'	158.37'	87.88'
31.	27° 28' 38"	499.00'	187.19'	98.71'
32.	60° 14' 34"	25.00'	39.01'	21.07'
33.	92° 28' 16"	25.00'	40.30'	28.06'
34.	54° 58' 00"	584.00'	272.14'	134.65'
35.	41° 32' 00"	40.00'	29.00'	16.17'
36.	270° 47' 45"	40.00'	189.05'	-39.45'
37.	50° 00' 17"	40.00'	35.38'	18.84'
38.	46° 30' 38"	499.00'	405.07'	214.44'
39.	36° 04' 58"	424.00'	267.02'	133.11'
40.	7° 55' 54"	1330.00'	184.12'	92.21'
41.	50° 02' 58"	335.00'	292.63'	156.38'
42.	26° 55' 45"	133.87'	62.82'	32.05'
43.	40° 08' 00"	225.00'	157.67'	82.23'
44.	48° 28' 12"	190.00'	184.05'	87.53'
45.	29° 11' 52"	268.32'	263.13'	220.31'
46.	4° 53' 35"	882.00'	75.32'	37.68'
47.	16° 27' 35"	882.00'	222.59'	111.89'
48.	32° 04' 37"	90.00'	50.39'	25.87'
49.	32° 04' 37"	191.70'	84.93'	43.81'
50.	94° 26' 50"	34.81'	56.72'	37.79'
51.	57° 14' 36"	46.63'	46.59'	25.45'
52.	44° 24' 00"	300.00'	232.48'	122.43'
53.	46° 57' 38"	200.00'	182.76'	86.19'
54.	40° 00' 00"	200.00'	139.63'	72.79'
55.	21° 00' 00"	925.00'	339.03'	171.44'
56.	53° 00' 00"	300.00'	172.79'	88.86'
57.	30° 00' 00"	260.00'	130.14'	68.67'
58.	52° 00' 00"	280.00'	156.38'	80.29'
59.	69° 12' 52"	289.01'	301.22'	206.33'
60.	90° 00' 00"	85.00'	54.88'	35.00'
61.	102° 52' 05"	85.00'	62.84'	43.90'
62.	83° 13' 12"	85.00'	50.84'	31.08'
63.	38° 54' 57"	175.00'	181.88'	83.54'
64.	20° 38' 10"	381.00'	137.34'	69.82'
65.	15° 23' 42"	381.00'	101.37'	51.50'
66.	16° 12' 58"	312.36'	89.31'	50.08'
67.	20° 19' 20"	235.18'	83.43'	42.16'
68.	45° 16' 42"	70.00'	55.32'	29.79'
69.	24° 57' 14"	133.53'	58.16'	29.55'
70.	23° 26' 43"	135.41'	55.41'	28.10'
71.	24° 21' 16"	120.00'	51.01'	25.90'
72.	10° 54' 32"	267.36'	50.91'	25.53'
73.	295° 24' 41"	44.00'	226.86'	-27.81'
74.	47° 47' 17"	100.00'	63.81'	34.30'
75.	16° 48' 02"	300.00'	87.97'	44.30'
76.	23° 56' 17"	300.00'	125.38'	63.60'
77.	14° 25' 53"	400.00'	100.75'	50.64'
78.	29° 36' 45"	153.81'	78.48'	40.66'
79.	37° 32' 11"	360.00'	235.85'	122.33'
80.	97° 05' 40"	108.05'	183.10'	122.33'
81.	120° 26' 31"	70.00'	147.15'	122.33'

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 BEING A SUBDIVISION OF THE WEST 1/2 OF THE SOUTHWEST 1/4 OF SECTION 27 AND THE SOUTHEAST 1/4 OF SECTION 28, T-13-S. R-16-E, G.S.R.B. & M., PIMA COUNTY, ARIZONA.



3400 - N.

13400 - E.

13500 - E.

13600 - E.

13700 - E.

3400 - N.

3300 - N.

3200 - N.

3200 - N.

UNSUBDIVIDED

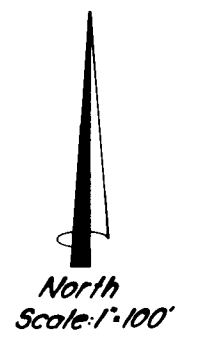
UNSUBDIVIDED

13400 - E.

13600 - E.

13700 - E.

Redington Road



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Osborn, Petterson, Walbert and Associates
ENGINEERING SURVEYING PLANNING



For Continuation See Sheet No. 4

For Continuation See Sheet No. 12

Ind. A.C.P. (L.S. 7539) No. Cor.